

May 8, 1998

Section 6.4.10 APPENDIX A

DOWNTOWN (D, DW, DC) DISTRICT DESIGN
& LANDSCAPE GUIDELINES

PURPOSE AND APPLICABILITY

- (1) The purpose of the guidelines that follow is to establish preferred patterns and designs for development in the Downtown District of the Town of Madison. Some of the guidelines contained in this Appendix apply to activities that occur in public areas such as streets and sidewalks. They are intended to guide Town officials as well as private citizens in making land use and land management decisions.
- (2) The high quality of life enjoyed by Town residents results in large measure from the physical design of the town center. This traditional "Main Street" pattern of development is characterized by an inviting and attractive street environment that encourages pedestrian activity and informal interaction among residents, merchants and visitors. This interaction is enlivened by the closely interwoven combination of residential, retail, service, office, and other non-residential uses built at a human scale.
- (3) The lively downtown street environment is a valuable public space that attracts tourists who support the local merchants and provide an important economic stimulus to the community. The economic and social vitality of the Town of Madison depends upon maintaining the attractiveness of this street environment, the economic viability of downtown businesses, and a hospitable atmosphere for residential occupants.
- (4) The Madison Planning and Zoning Commission has determined that the existing mixed-use development patterns and building types found on Boston Post Road and Wall Street are desirable and should be preserved in order to maintain the quality of the buildings and public spaces in the downtown.
- (5) The Planning and Zoning Commission has further determined that the Town's downtown area should be encouraged to expand north of Boston Post Road in the area bordered by Bradley Road, Route 79 and Wall Street. These standards are to be used as guidelines to help shape new growth in this area in a pattern similar to that of the existing downtown.
- (6) The portion of the Downtown District lying south of Meigs Avenue and Scranton Park is intended to develop in somewhat different pattern, with larger scale buildings permitted.

A report entitled "The Town of Madison Charette Report" by the Yale Urban Design Workshop (1996) provides the basis for many of the design standards in this Appendix and should be consulted in connection with the application of the standards herein.

BUILDING AND SITE LAYOUT

Boston Post Road has the character of a traditional 19th century downtown, with small closely-spaced, detached or party-wall buildings that front directly on the sidewalk. Wall Street has the unique character of a traditional, residential neighborhood of detached houses that has made an effective transition to a variety of non-residential uses, without significantly changing its visual quality as a beautiful, tree-canopied street. These special qualities give downtown Madison its distinctive character and should be maintained and enhanced.

BUILDING ALIGNMENT: ENCLOSING THE STREET SPACE

- Building should have a well-defined front façade with entrances facing the street. They should be aligned so that the dominant lines of their facades parallel the line of the street and create a sense of enclosure. Departures from this regular pattern should be allowed only to terminate important vistas along streets or sidewalks or to act as focal points for public spaces.
- Where party wall buildings currently exist on Boston Post Road, or where new ones are constructed, the buildings should generally be connected to form a wall along the street. This wall encloses public space and makes the street space feel like an “outdoor room”. Party wall buildings should be similar in height, with storefront windows, doors at street level, and simple roof shapes. Because party wall buildings effectively enclose the street space, they are permitted on Boston Post Road only between Wall Street and Durham Road which derives its distinctive character from its ensemble of historically significant, detached structures.
- The relationships between buildings and the street should be either parallel or perpendicular, not oblique or diagonal. Front facades should be parallel to the street with major roof ridges either parallel or perpendicular to the street. On narrower lots (60 feet or less), the roof ridge should generally be perpendicular to the street.

CORNER LOTS

- Street corners are important focal points and should be designed as pedestrian places featuring public or civic buildings and/or small greens or squares. Attractive intersections encourage continuous pedestrian travel, while vacant corners discourage pedestrians from continuing to the next street. Parking lots should not be located at corners.
- Buildings, trees, hedges, low walls, and sidewalks should define the street corner. Curb cuts should be minimized and kept away from the corner. Clearly designated, safe, and continuous pedestrian sidewalks and bicycle paths should be maintained around corners.

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ALLEYS

- Service alleys not generally used by the public should be screened off.

SIDEWALKS, CURB CUTS & PARKING

Wide curb cuts and other sidewalk interruptions destroy the scale and the pedestrian continuity of streets. Frequent curb cuts on heavily traveled streets can create unsafe conditions. Curb cuts can be minimized through the use of shared driveways, rear driveway connections, and alley access to off-street parking areas.

- Curb cuts and interruptions of the pedestrian sidewalk should be kept to a minimum. Cuts should be only one lane wide, and should not be more than 14 feet wide for most commercial uses and 12 feet wide for residential uses.
- Where interrupted by curb cuts, the continuity of the sidewalk surface material should be maintained, while the material of the driveway should be interrupted.
- Any new development or redevelopment should be encouraged to have sidewalk and parking connections to adjacent properties.

FENCES, WALLS AND LANDSCAPE SCREENS

Fences, low walls and hedges define walkways and give pedestrian scale to the street. They create a transition between public and private spaces, and sometimes screen and separate potentially incompatible uses.

- Fences, walls and landscape hedges up to 3 feet high are encouraged along front property lines, especially where the continuity of buildings is interrupted by a vacant lot, a parking lot, or a building set back further than the build-to-line or setback zone.
- Where a use is visually intrusive or noisy, taller hedges or landscape screens may be required to provide adequate screening.
- Chainlink and stockade fences and tall walls and hedges create unfriendly barriers and block important public, visual and pedestrian access and are not encouraged.

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LANDSCAPING GUIDELINES

◆ Purpose

These landscaping regulations are adopted for the purpose of protecting property values by preserving existing vegetation and planting of new materials; providing privacy from visual intrusion, light, dirt, and noise; preventing the erosion of soil; providing water recharge areas; and improving the quality of the environment and attractiveness of the Town of Madison.

◆ Overall Landscaped Area Guidelines

Any lot developed for commercial use shall provide appropriate landscaping.

◆ Perimeter Landscaped Area

Front, Side and Rear Yards - Any lot developed for commercial use shall provide adequate landscaped area.

◆ Landscaped Buffer and Sizes

Landscaped buffers should be provided when possible.

Canopy trees shall be deciduous shade trees planted at least 3 inches in caliper with a mature height of at least 35 feet. These trees should not be planted under utility lines. Under story trees shall be deciduous shade or fruit trees planted at 2 inches in caliper with a mature height of at least 12 feet.

Evergreens shall be coniferous species planted at 5 to 6 feet in height. Shrubs shall be either deciduous species planted at 2 1/2 feet in height with a mature height of at least 6 feet or coniferous species planted at 2 1/2 feet in spread.

- a. Front Yards - A front yard landscaped buffer may be required by the Commission where necessary to preserve and protect residential property values and privacy of residential lots. Where deemed necessary to screen parking lot areas from the public street.
- b. Side/Rear Yards - An appropriate landscaped buffer shall be provided along side and rear yards where Commercial Zones abut Residential Zones or uses.

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After reviewing the landscape plan, the Commission may authorize the use of existing vegetation in lieu of new plantings. Also, the Commission may require the substitution of the evergreen plant materials. Berms may also be required by the Commission where deemed appropriate in any buffer yard as an additional buffering mechanism.

- Street Trees - Wherever possible, streets within the downtown should be lined with trees. In particular, the canopy of existing large trees gives Wall Street much of its special character. These trees should be preserved and special care should be taken to protect their roots from being cut, compacted or otherwise damaged due to construction, utility maintenance, parking, or snow removal operations. Streets should be maintained in a way that minimizes the need to remove mature trees. Dead trees that are within 20 feet of the pavement should be replaced with new trees. They should include a variety of 3 to 3½ -inch minimum caliper indigenous species with broad canopies.
- ◆ Additional Landscaping - The Commission may require additional landscaping or more mature plantings when unusual conditions require more extensive screening, or for noise abatement to prevent the depreciation of adjoining residential properties.

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ARCHITECTURE

Because downtown Madison possesses a rich assortment of architectural styles, these standards do not prescribe any particular architectural genre or style. Rather, they describe basic design elements that should be adhered to in order to maintain and enhance the largely harmonious architectural fabric that currently exists. Some modern architectural forms are consistent with these design elements, while others are not. For example, most types of "franchise architecture" and "ranch," "raised ranch," "A-frame," and "split-level" building types are not in keeping with the Town's character and historical context.

Most buildings covered by these standards are relatively small and built at a human scale. This quality needs to be maintained to preserve the character of downtown Madison. New buildings should be similar in size, scale, and proportions to the historic buildings in the downtown. They should be designed for long-term adaptability and changes in use and should take advantage of natural daylight and fresh air circulation, with floor-to-ceiling dimensions that allow adequate daylight penetration. Specialized public buildings, such as fire stations, should adhere to these standards only to the extent practical, considering their unique functional requirements.

BUILDING MATERIALS

- Preferred building materials are brick, stone, and wood. Limited use of concrete and concrete block is acceptable if detailed and finished to be compatible with surrounding buildings. Corrugated concrete and "cinder block" exteriors are not appropriate. Tile, stucco, and metal wall surfaces are not typical building materials in the downtown area, but may be acceptable in limited applications.
- The following roofing materials are encouraged: slate, wood shingles, shakes, standing seam metal. Asphalt shingles are acceptable. Colors should be neutral to dark.

Any new or exterior alterations should have significant trim detail to be compatible with surrounding architecture.

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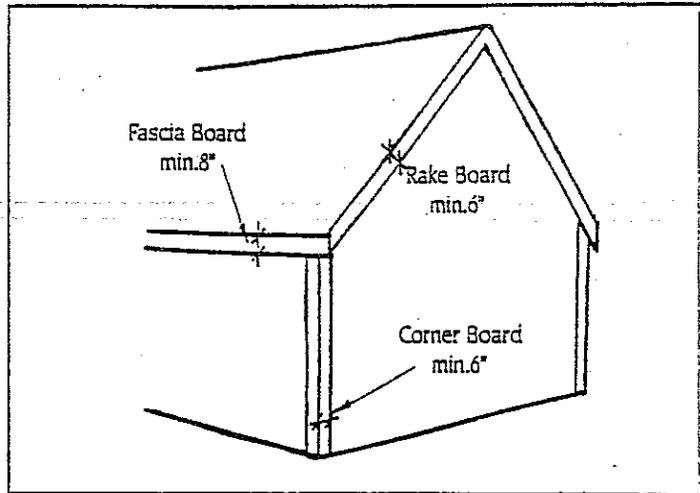
FACADES

Materials

Guideline

Rake and corner boards should be a minimum of 6" wide.

Facia trim should be a minimum of 8" wide.

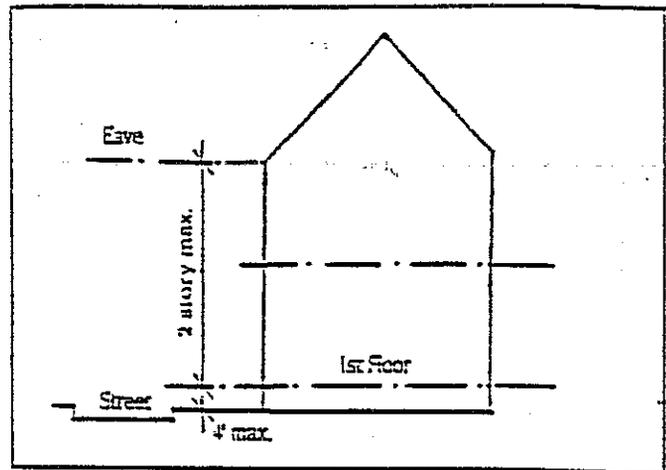


Height

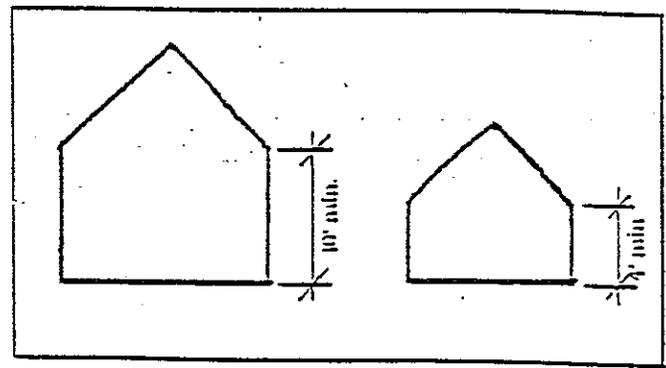
Guideline

Maximum 2-story eave heights are encouraged. The first floor level of a 2-story facade should not exceed a height of 4' above the grade at the street face of a building. Story heights should remain within the range of those in surrounding buildings.

Two-story mixed-use buildings are encouraged.



Roof eaves on main roofs should be a minimum of 10' above the grade at the building front entry. The main roofs of non-habitable accessory buildings, such as pump houses and tool sheds, should be a minimum of 4' above grade.



Habitable Building

Non-habitable Building

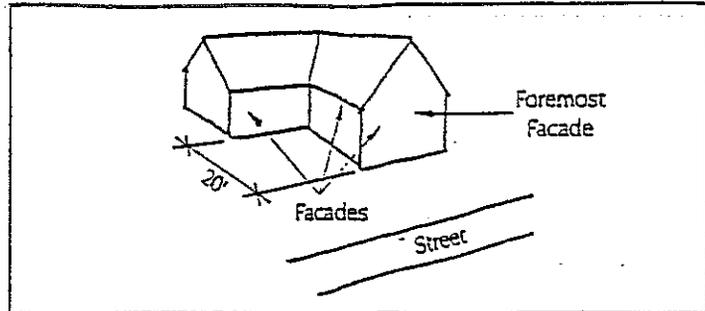
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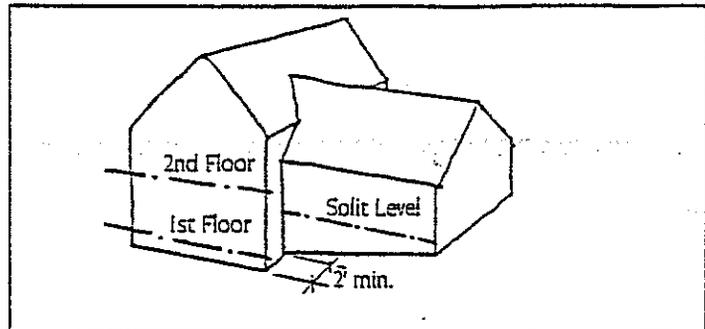
Façade Plane

Guideline

The foremost frontal plane of the building facing the street is the main façade. Other front or side facing planes within a 20' setback from the foremost façade are also considered façades.

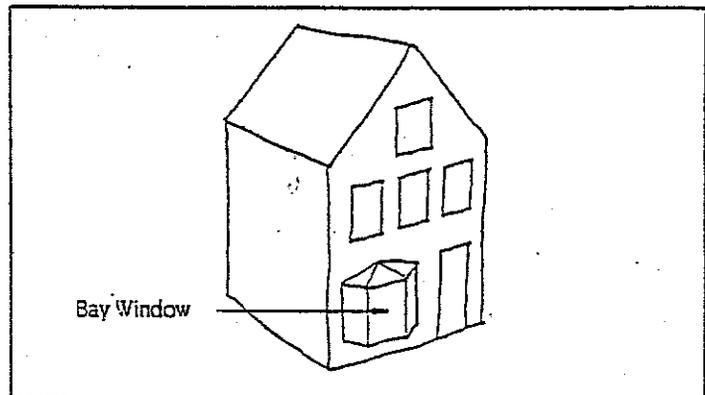


Between full stories, there should be no change of floor level without a minimum 2' change in the vertical plane of the façade.



Bay windows, porticos, porches and historical façade projections are acceptable as long as they remain subordinate in proportion to the size or the façade. One-story porches of any size are encouraged. Most traditional houses have porches including entry porches, full front porches or wrap-around porches.

Façades in which the 2nd or 3rd story overhangs the 1st story are discouraged.



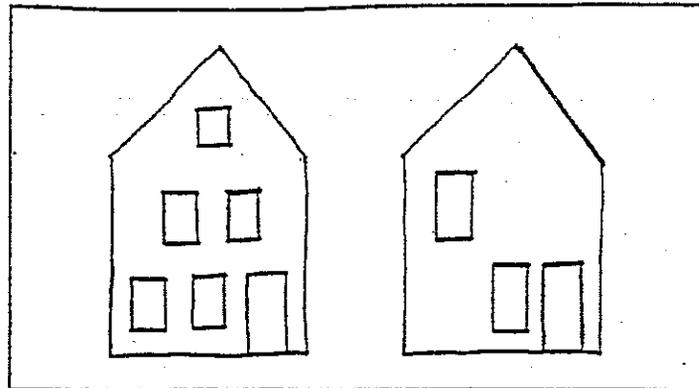
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FACADES

Window and Door Placement

Guideline

Windows and doors should be balanced in their placement on building facades. Though literal symmetry is not necessary, a general balance between façade elements is harmonious to the eye.



Balanced

Unbalanced

- Buildings should have many windows and doors at street level to encourage pedestrian traffic and commercial activity. Frequent entries contribute to a lively pedestrian space. Entries onto the sidewalk should occur at least every 25 to 40 feet on Boston Post Road.
- All exterior walls should have windows, especially if they face the street or any public or semi-public space. Outdoor spaces are safer when overlooked by windows. No building may have more than 15 horizontal feet of wall facing the street without a window or door.
- Principal building entries should be oriented toward and visible from the street. Main entrances should front on streets or side yards rather than on parking lots or interior courts, although secondary back entries or entrances from courtyards, which face the street, are acceptable. Accessory units may be accessed through a rear alley or side yard.

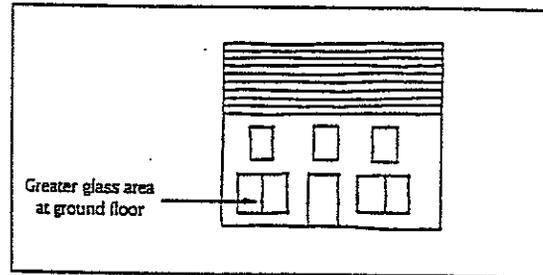
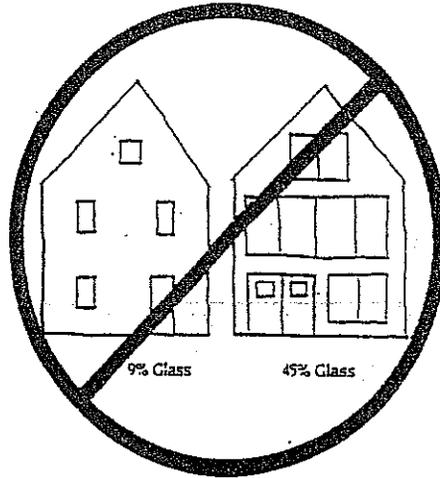
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FACADES
Extent of Glazing

Guideline

No less than 12% and no more than 35% glass area should be employed on the foremost, front facing façade of a building. No more than 35% glass area should be employed on other facades. Glass area is measured as inclusive of muntin and sash, exclusive of casings, and is measured per façade.

Glass areas per floor should be greater at ground floors than at upper level floors.



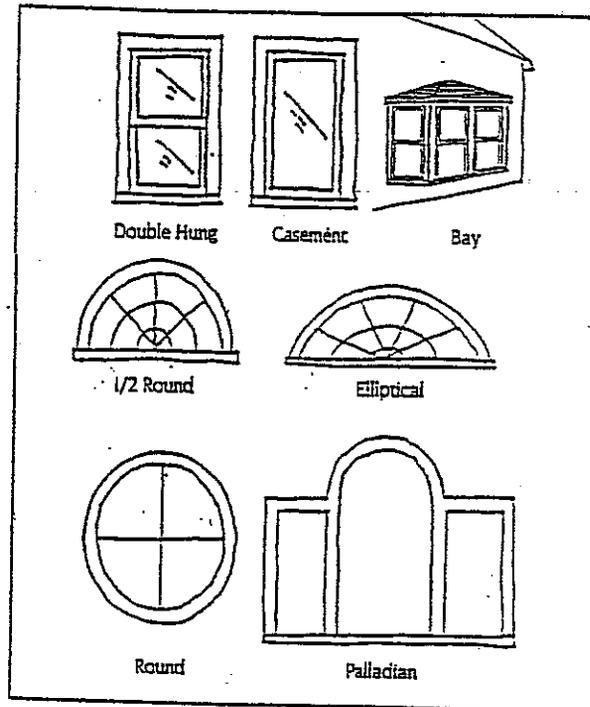
Window Style

Guideline

The window style should be consistent across the entire exterior of a building.

The following window styles are encouraged:

- Double hung
- Casement
- Bay
- Half Round
- Elliptical
- Palladin
- Skylight



ENCOURAGED

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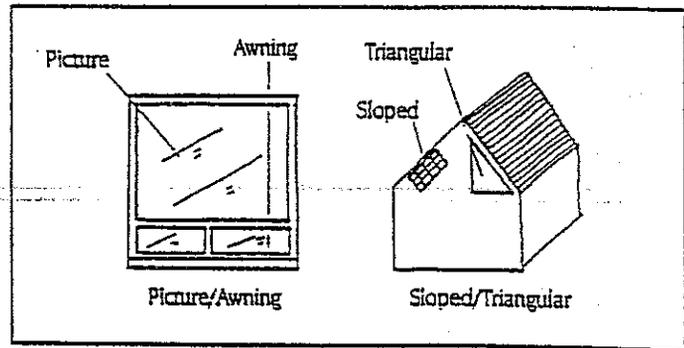
FACADES

Window Style

Guideline continued

The following window styles are *discouraged*:

Picture
Combination Picture/Awning
Triangular
Sloped



DISCOURAGED

Display windows in commercial uses are encouraged at the main floor. The use of muntins to break the expanse of glass into smaller panes is encouraged.

FACADES

Details

Guideline

All windows and doors should be framed with a minimum casing width of 3.5".

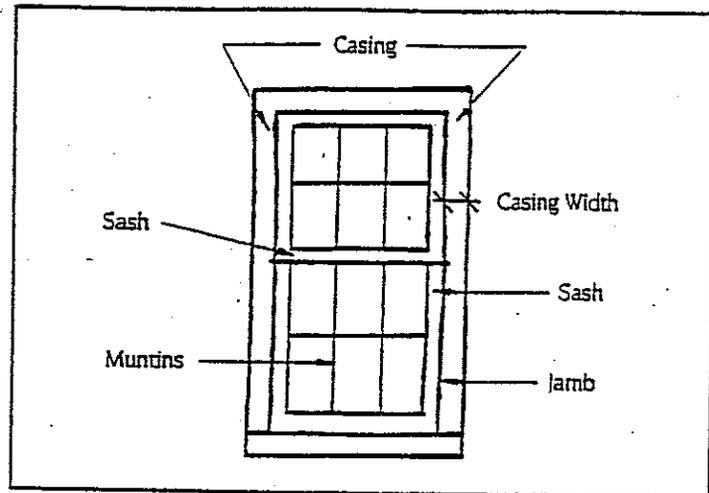
Small paned windows divided by muntins are encouraged.

The following wood siding and trim materials are encouraged:

Wood, Clapboard, Shiplap, Board and Batten, and Shingle.

Brick and stone walls are also encouraged.

Vinyl, asphalt and other synthetic siding materials are discouraged.



6 Over 6 Pane, Double Hung Window

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FACADES

Window Size and Proportion

Guideline

A window is defined as the single set of glazed sash contained between jambs or mullions.

Singly cased windows are encouraged. Multiple ganged window configurations are acceptable.

Except on storefronts, windows should be vertical, in proportions ranging from a 1:2 to a 3:5 ratio of width to height.

Windows of a 1.5:1 to 3:1 ratio range are acceptable just below roof eaves. These are known as "Eyebrow" windows.

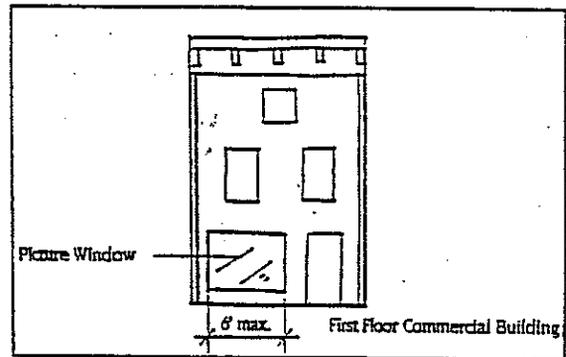
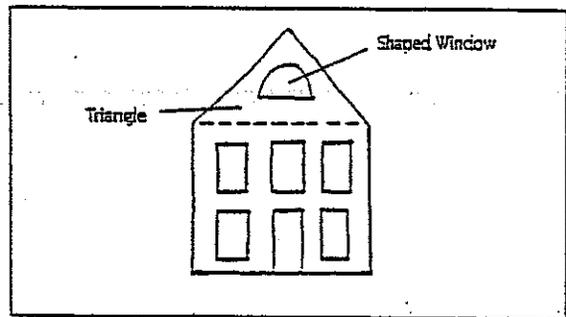
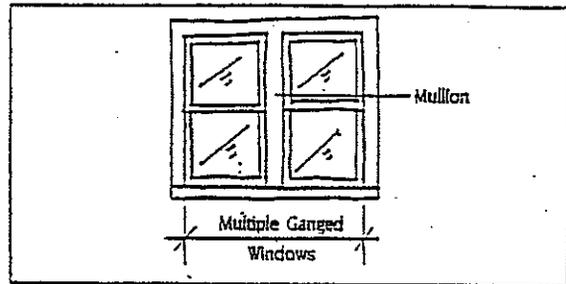
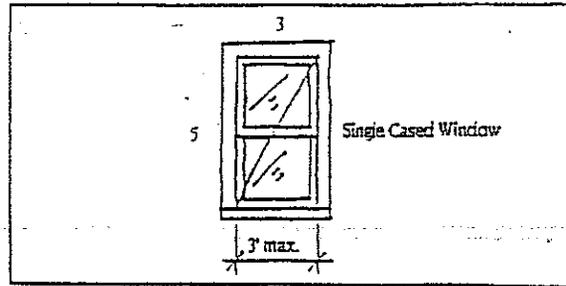
Shaped windows and windows of a 1:1 ratio are acceptable within the triangle created by converging roof planes and at decorative entries and where combined in a Palladian configuration.

Windows wider than 3' are strongly discouraged except on the entry levels of commercial uses where a maximum width of 6' is acceptable. On Wall Street, narrower windows are encouraged to maintain residential character.

Sliding glass doors may not be used on front building facades.

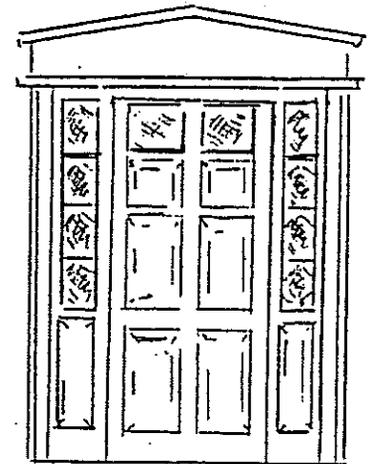
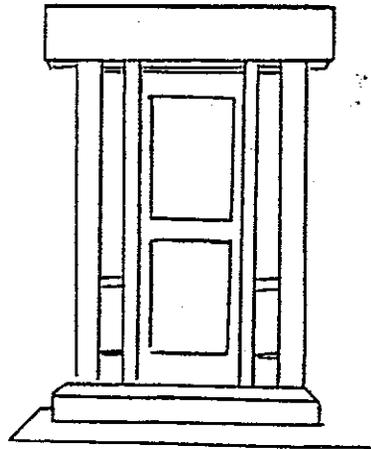
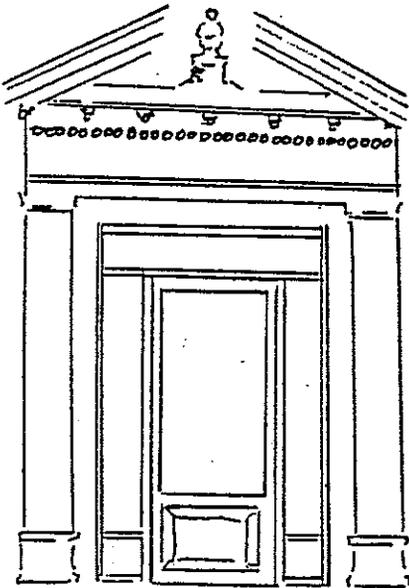
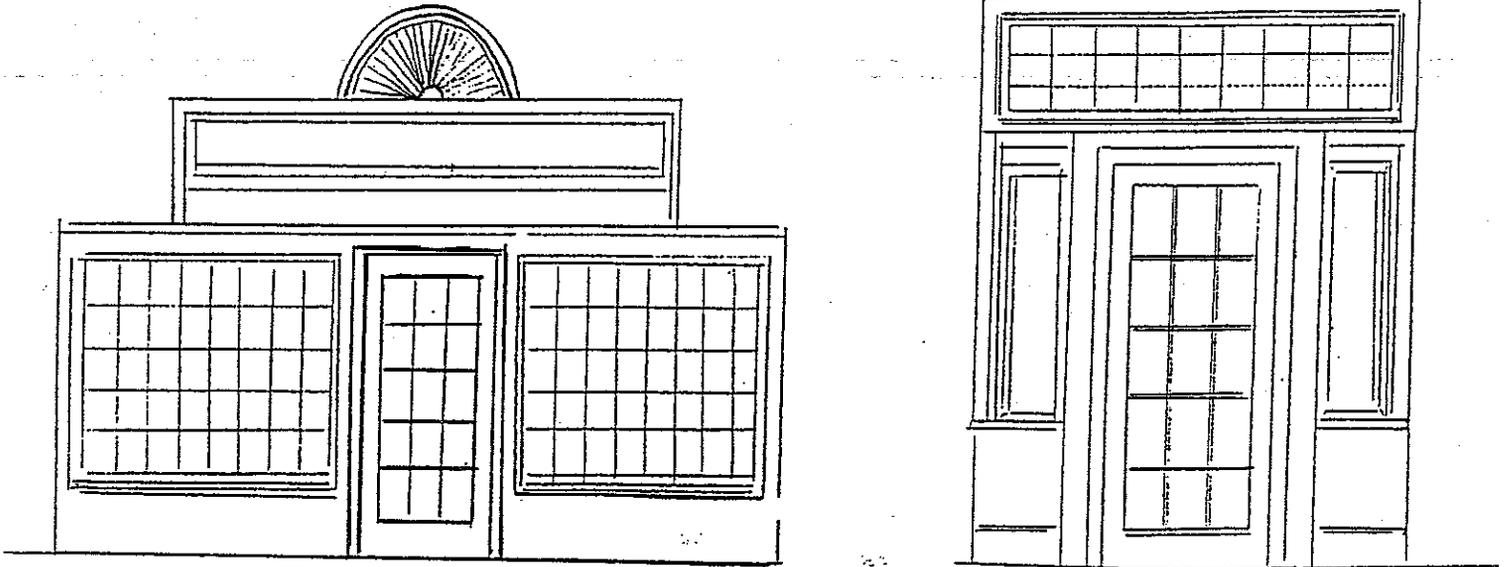
Every building should have operable windows on the upper floors. These should be double-hung casement, awning, or pivot windows, or a combination of any two types. Individual windows may be grouped, but continuous strip windows without major vertical divisions are not encouraged, as are heavily tinted or reflective glass.

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DOORS

The following are examples of encouraged doors and entry areas.



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ROOF

Roof Types

Guideline

The two roof types that are predominant and encouraged in the town are *Gable* and *Hip*. Main roofs should conform to these shapes. The *Gambrel* and *Mansard* roof types are derived from the *Gable* and *Hip* respectively and are generally not encouraged.

Discussion

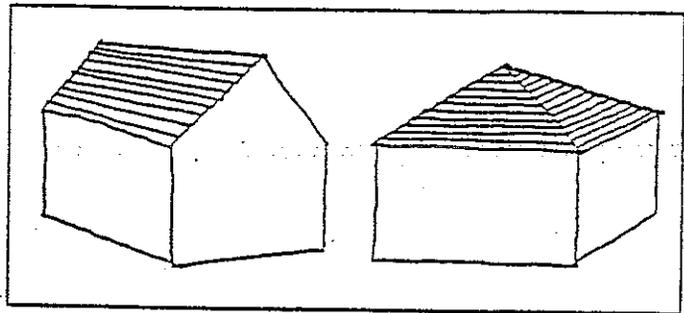
Because there are only a few examples of the *Gambrel* and *Mansard* roof, their prolific use is discouraged. However, limited use of these roof types will lend variety.

Guideline

A fifth roof type is acceptable for commercial buildings: the *false front*. It consists of a front façade extended upward to mask the main sloped roof behind. It is characterized by a level overhanging cornice with a large frieze board and/or supporting brackets. Eave breaks are permitted at the cornice.

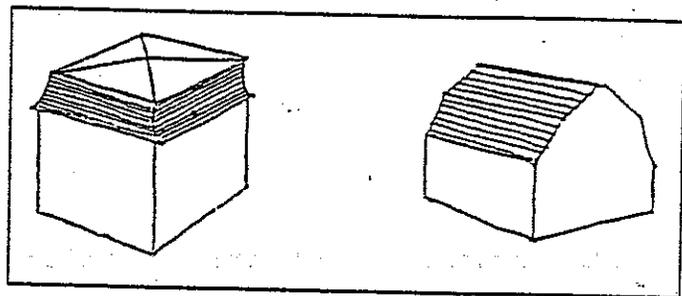
Discussion

Although presently there are very few examples of the *False Front* in Madison, as areas are infilled with new commercial development, this roof type (preferably attached to other buildings) would be appropriate for the densest commercial core areas.



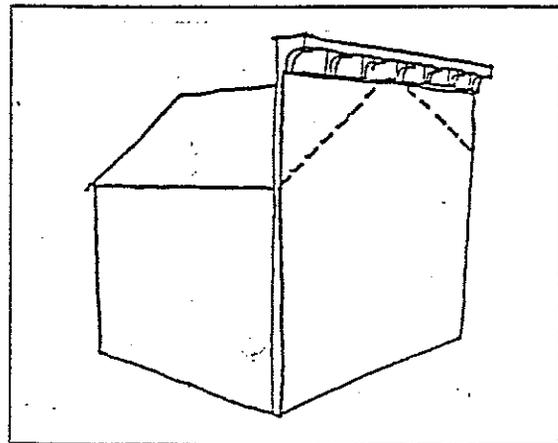
Gable Roof

Hip Roof



Mansard Roof

Gambrel Roof



False Front

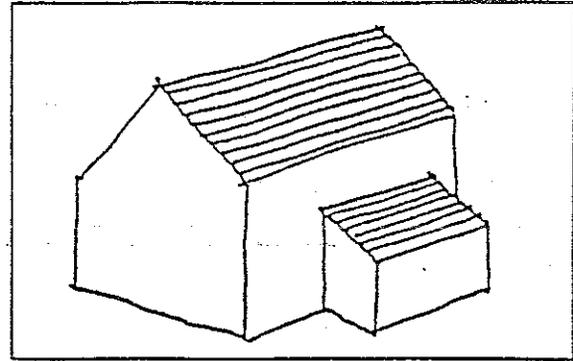
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ROOF

Roof Types continued

Guideline

Shed Roofs are acceptable as secondary roofs but discouraged as main roofs. The highest roofline of the Shed Roof should be attached to the dominant building mass.



Shed Roof

Roof Massing

Guideline

Simple roofs consist of a single roof type.

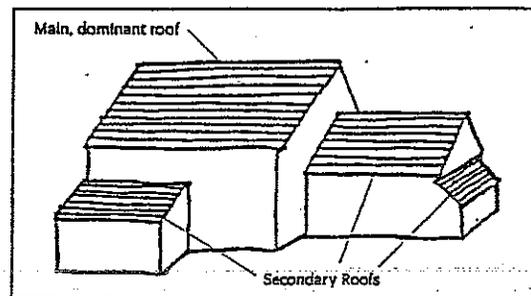
More complex roofs consist of a main roof type that is dominant with attached secondary roof types that are smaller and lower than the main roof ridge line.

Although simple roof types are encouraged on small buildings, roofs of larger buildings should be more complex and should combine a main roof with lower, intersecting secondary roof types rather than use only a single hinge roof.

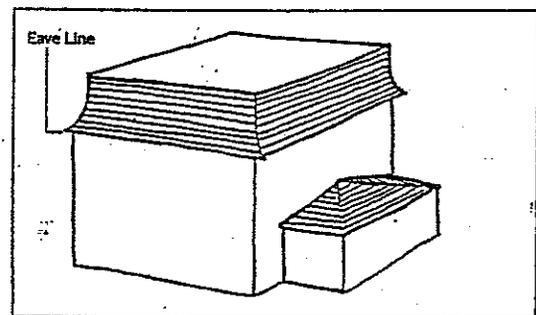
Secondary Sheds, Gables and Hips may be combined with any main or secondary roof type.

Combining *Mansard* with any other roof form other than a *Secondary Shed* or *Hip* is discouraged. All such additions should not extend above the *Mansard* eave line.

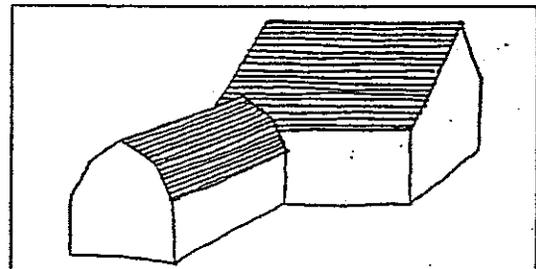
Secondary Gambrels should be combined with *Main Gambrels* and *Gables*.



Shed & Gable Additions to Gable-Roofed Buildings



Hip Roofed Addition to Mansard Roofed Building



Gambrel Addition to Cable Roof Building

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ROOF — Roof Massing continued

Discussion

As a building increases in size, more complex roofs are necessary to enable the building to remain in character with its surroundings. Historically, many large buildings grew by adding new sections similar in massing and proportion to existing structures.

ROOFS — Party Wall Buildings

- Party wall buildings create continuity in the street wall, which should not be interrupted by complicated or dominating roof designs visible from the street. Simple gable roofs or flat roofs with cornices are appropriate for party wall buildings.
- Parapets, projecting cornices, or decorative roof overhangs are encouraged, since they reinforce the line of the building wall. Flat roofs without cornices are prohibited.
- Heating, ventilation, and air conditioning equipment on the roof should not be visible from the street.

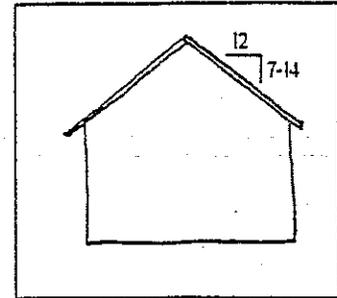
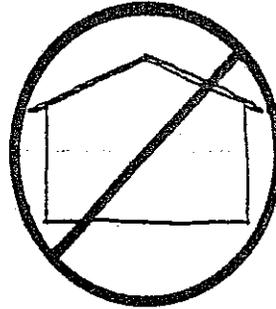
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ROOF

Roof Pitch

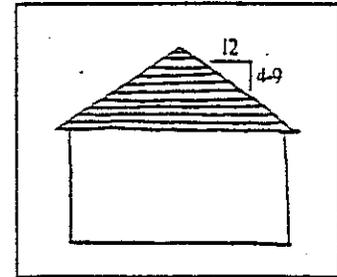
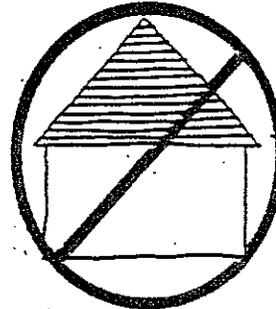
Guideline

Gable Roofs may vary in pitch from 7:12 to 14:12. Roof pitches below 8:12 on main roofs are discouraged.



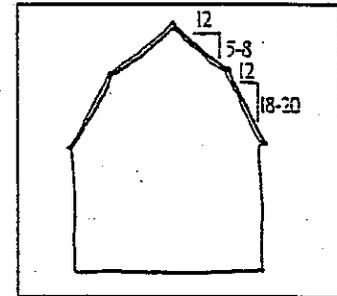
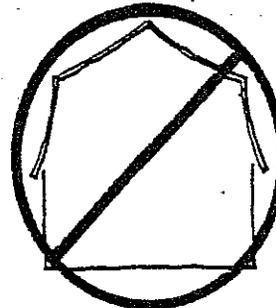
Gable Roof

Hip Roofs may vary in pitch from 4:12 to 14:12. Roof pitches steeper than 9:12 on main roofs are discouraged.



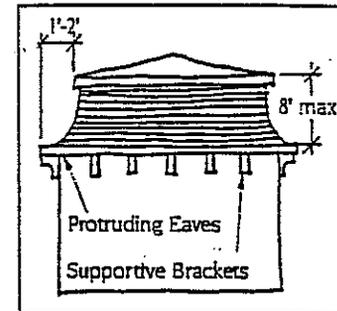
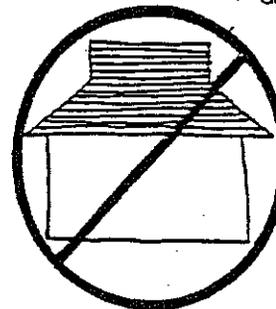
Hip Roof

Gambrel Roofs have different pitches on their upper and lower roof planes. Upper roof pitches may vary from 5:12 to 8:12 while lower pitches may vary from 18:12 to 20:12. The most typical and harmonious arrangement is an upper roof pitch of 5:12 and a lower roof pitch of 20:12.



Gambrel Roof

Mansard Roofs are built with a concave curve and they are characterized by protruding eaves and ridges and support brackets below the eave. They may not exceed 8' in height from eave to ridge. The height of *Mansard Roofs* should be designed in proportion to the size of the façade below. Though dormers are encouraged on *Mansard Roofs*, skylights are not. Modern *Mansard imitations* that lack the proportions of *historic Mansard* roofs are not permitted.



Mansard Roof

Shed Roof additions may vary in pitch from 4:12 to 14:12.

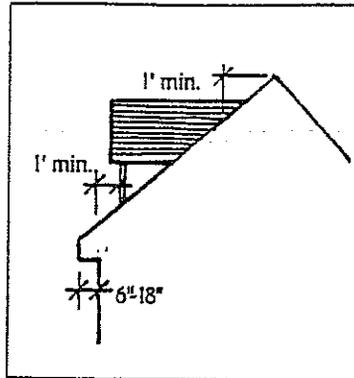
A report entitled "The Town of Madison Charette Report" by the Yale Urban Design Workshop (1996) provides the basis for many of the design standards in this Appendix and should be consulted in connection with the application of the standards herein.

**Roof
Roof Details**

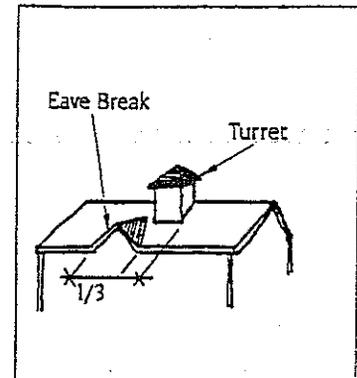
Guideline

Roof overhangs of 6" to 18", exclusive of gutters, are encouraged.

Details consistent with the period styling of the building as discussed in the introduction are encouraged.



Roof Overhang and Dormer

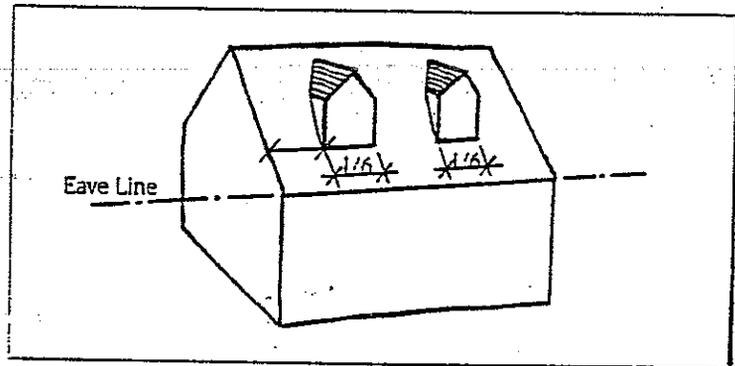


Roof Features

**Roof
Roof Features**

Guideline

Dormers, lanterns, turrets, eave breaks and skylights may be added in proportion to the roof's overall size. Cumulatively they interrupt the roof plane no more than 1/3 of the length of the eave line.



Roof Feature Placement

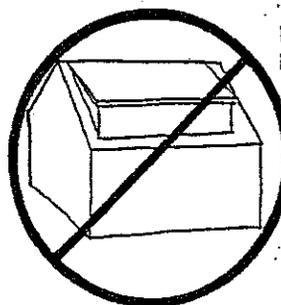
Dormers should be set back from the face of the building at least 1' and from the building sides at least 3'.

The face of the dormer should be minimal in height and made up mostly of window area.

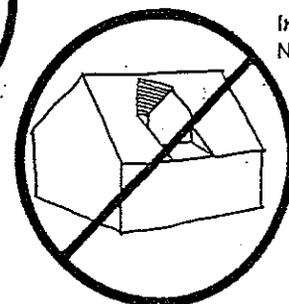
The dormer roof should connect to the main roof at least 1' below the main roof ridge line.

The roof pitch of gable dormers should match the roof pitch of the main roof.

Shed roof dormers that envelop the main roof slope are discouraged. Inset dormers are also discouraged.



Large Sized Dormers
Not Encouraged



Inset Dormers
Not Encouraged

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UPPER STORIES

- In order to define the edge of public space on the street and encourage mixed-use buildings, all new buildings and major additions should be between 1½ and 4 stories tall consistent with the maximum height and bonus height provisions of Section 6.4.4.4 and 6.4.5.3. Infill buildings on Boston Post Road should be within 1 story of the height of adjacent structures.
- Upper-level apartments and offices are encouraged and should be accessible from entries on the sidewalk. Secondary entrances located on rear alleys or parking lots are also acceptable.
- Balconies and bay windows are encouraged on upper floors.
- On Boston Post Road, balconies and bay windows may encroach beyond the build-to line by no more than 4 feet. Awnings, arcades, and overhangs which provide shade and shelter for pedestrians are encouraged and may encroach beyond the build-to line. Arcades should not reduce the sidewalk width to less than 10 feet.

PORCHES

- Front porches are encouraged. Where buildings are set behind the front lot line, they may encroach into the required front yard. Front porches create a semi-private zone at the front of the building. This encourages socializing along the street and adds architectural interest for both pedestrians and occupants.

"TRADEMARK" BUILDINGS

- Trademark buildings, which identify the owner or occupant by a trademarked architectural style, are not allowed. Buildings with advertising icon images detract from the coherent and distinctive identity of Madison. Additionally, separated one-story buildings set back from the street and surrounded by parking are incompatible with the spatial character of traditional downtown streets. Franchise business operations can be allowed if they are designed to harmonize with downtown mixed-use areas.

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